

# SMALL COLONIAL HOMES

*Alvin H. Wood*



CARL MIRSCHEL LUMBER YARD

Hempstead 3141 — PHONES — Floral Park 5618

P. O. Box 92

HEMPSTEAD L. I., NEW YORK



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REG. U. S. PAT. OFF.

THE ARCHITECTURAL GUILD of SMALL HOME  
DESIGN IS AN ASSOCIATION of ARCHITECTS  
ENGAGED IN a COOPERATIVE EFFORT WITH  
ALL BRANCHES of THE BUILDING INDUSTRY  
TO IMPROVE THE STANDARDS of AMERICAN  
SMALL HOUSE ARCHITECTURE AND to AS-  
SIST THE SMALL HOME BUILDER to ACHIEVE  
a RESULT THAT IS ARCHITECTURALLY COR-  
RECT IN DESIGN, CONSTRUCTION AND  
EQUIPMENT



## COLONIAL ARCHITECTURE

Colonial architecture originated in the early colonies and is the creation of inspired artisans. Its use has steadily increased since then until today, in all sections of this country, its stately dignity and simple charm contribute enduring beauty.

For more than three hundred years, the Colonial has maintained its delightful identity—untouched by architectural whim of passing years. In fact, the Colonial home grows old gracefully which makes it a real investment in beauty and livability.

Each of the original colonies produced its own particular type of Colonial architecture to meet local conditions. These types have come to be known to us as New England Colonial, Dutch Colonial, Southern Colonial and Georgian Colonial.

The houses illustrated in the following pages have been inspired by these types of Colonial architecture, but to meet present day requirements, the arrangements of rooms in the plans have in most cases been changed from the traditional layout so as to include all of the modern conveniences and necessities we now demand in a home.

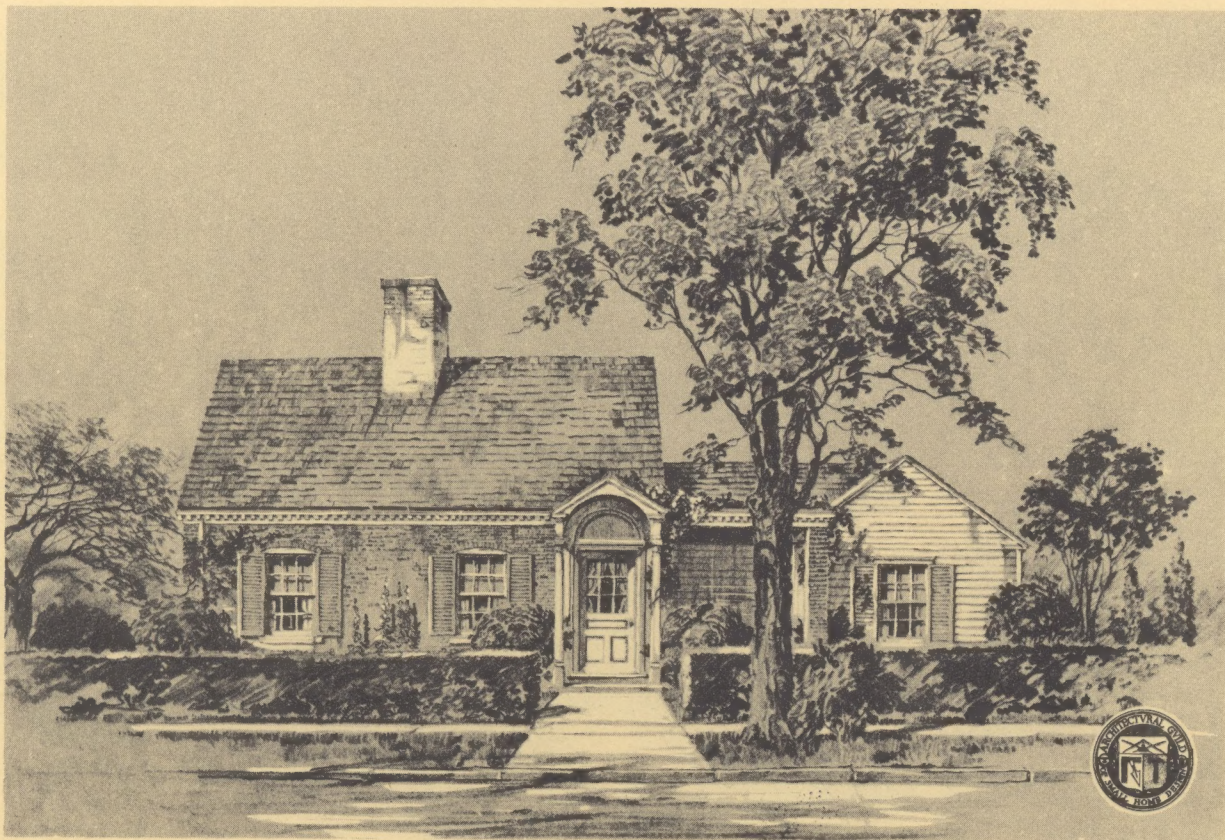
Because these designs have been based on a style that is adaptable to varying conditions of climate and topography, the small home builder with the help of a local architect should find a suggestion suitable to his particular needs and to the locality in which he wishes to build.

The Colonial style is particularly appropriate for the small house for it lends itself to the use of materials that are not expensive. Manufacturers of almost every type of building material realizing the widespread appeal of this style have developed products which are well designed and authentic in character for use in Colonial houses.

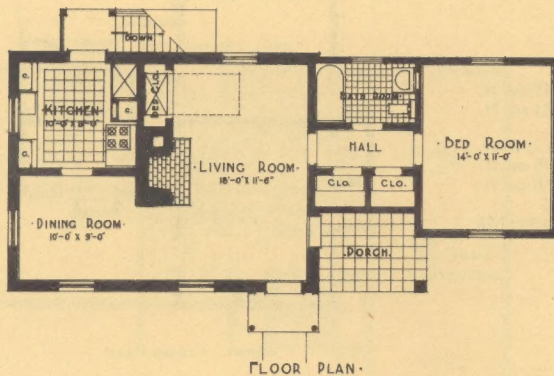
In building a small Colonial home of the character shown in this document, the builder can, with the guidance of a competent local architect, be assured that the investment in his home is safeguarded against quick obsolescence and rapid depreciation and that it will always retain its appeal and provide lasting enjoyment to its owners.



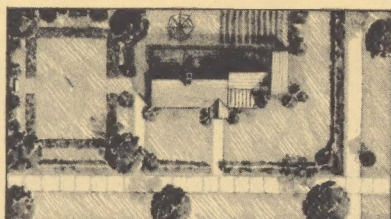




C-101-4



Total Cubage .....15,150 cu. ft.  
 Area of House .....880 sq. ft.  
 Minimum width of lot.....50' 0"  
 Porch Cubage .....380 cu. ft.  
 Basement Cubage .....4180 cu. ft.  
 Material.....Brick and Clapboarding



SEE YOUR LOCAL ARCHITECT FOR WORKING DRAWINGS OF THE HOUSE SHOWN ABOVE

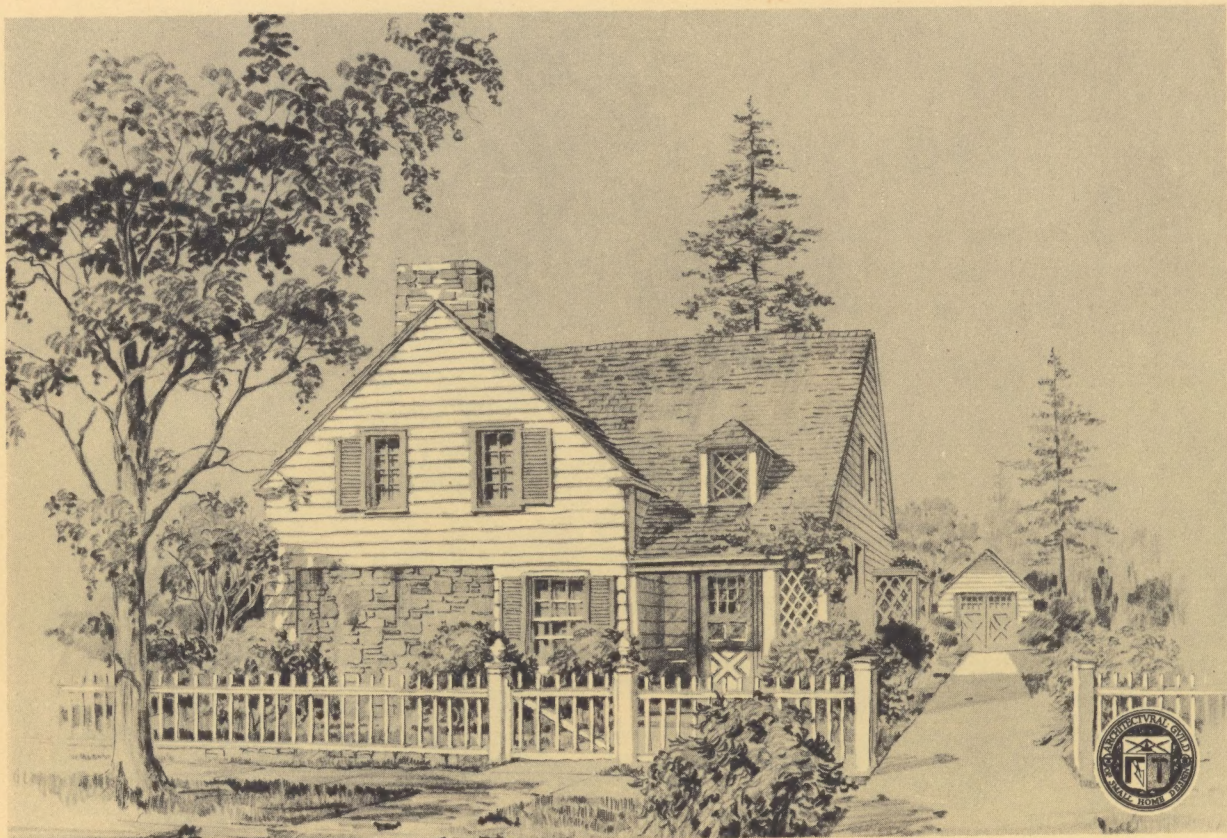
## VIRGINIA COLONIAL

From the charming small houses in the Georgian manner, found in northeastern Virginia, comes the inspiration for this design. It retains all of the spirit and much of the simplicity and refinement in the detail of the houses built in the latter half of the eighteenth century and the early years of the nineteenth. The pleasing combination of brick and wood in the exterior walls gives it a character that is only achieved by architectural genius.

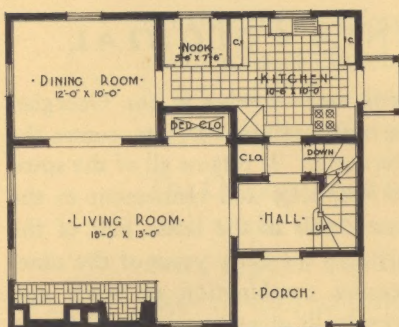
Its interesting, compact plan has the efficiency of a five room house, for it provides a place for a closeted bed in a corner of the living room convenient to the bath. The occasional guest or visiting relative is thus provided for. The bedroom, due to its location, is well isolated from noises in the rest of the house and will enjoy an abundance of light and air. If desired, the hallway to the bedroom could be fitted up as a dressing closet.

Owning such a home as this insures a wealth of life-time comfort where one can look forward to many pleasant evenings seated around the fireplace hearth.



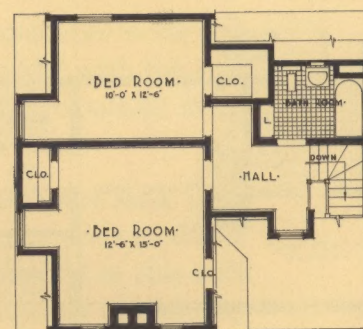


C-102-5



• FIRST FLOOR PLAN •

Total Cubage .....17,815 cu. ft.  
Area of House.....783 sq. ft.  
Minimum width of lot  
Including driveway .....50 ft.  
Porch Cubage .....195 cu. ft.  
Basement Cubage ..5,760 cu. ft.  
(Under entire building)  
Material Stone and Clapboards



• SECOND FLOOR PLAN •



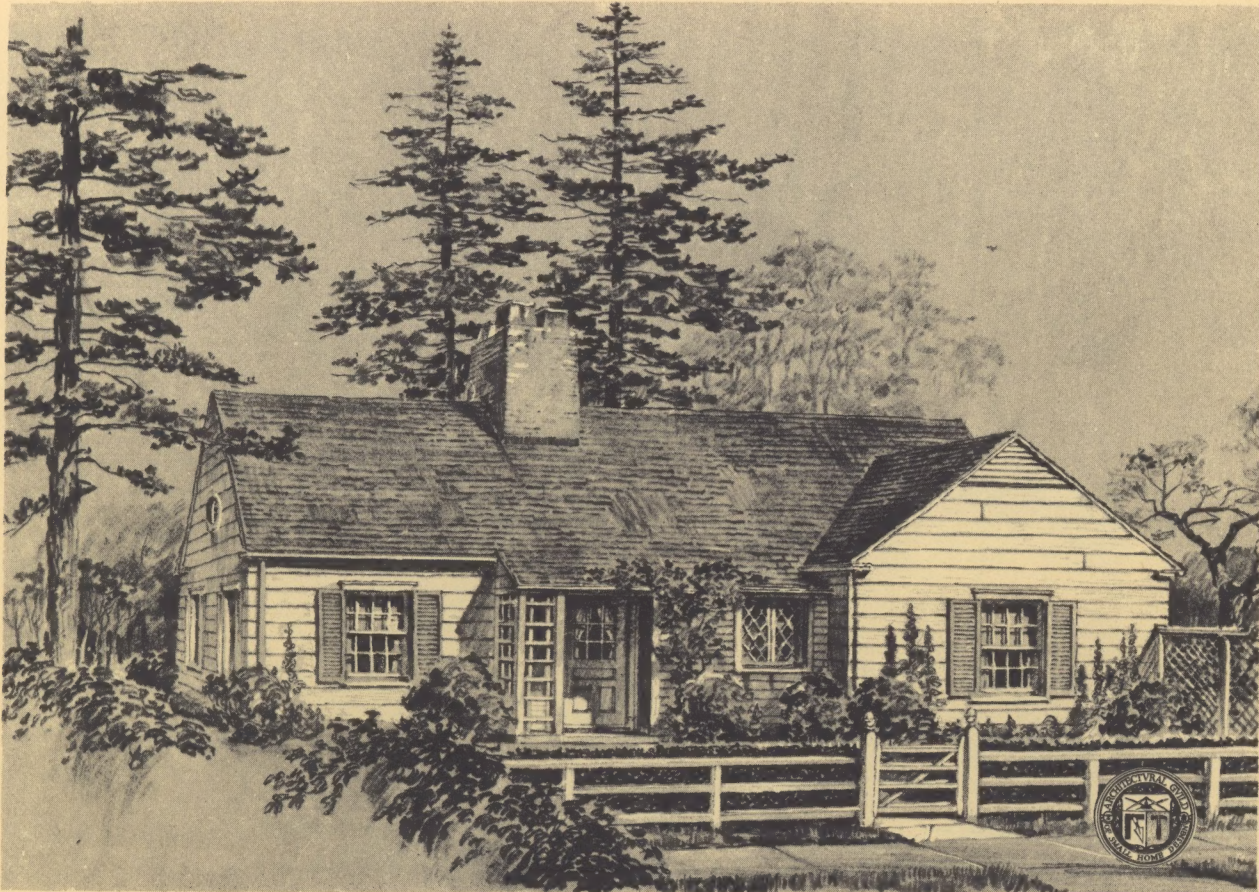
• PLOT PLAN •

## MORRISTOWN COLONIAL

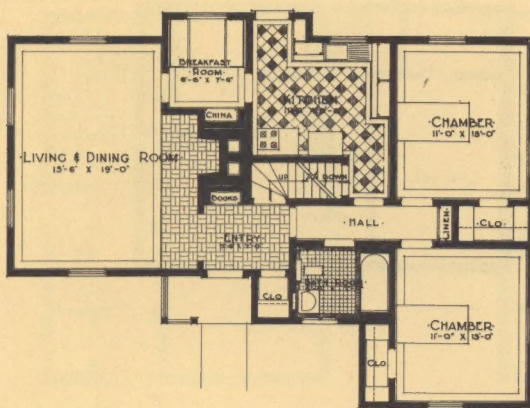
Northern Jersey holds many interesting examples of Colonial artistry such as the one from which this design was adapted. The well proportioned chimney breast lends a very interesting relief to the gable end and suggests the coziness of the fireplace end of the living room. The corner of this room with its built-in bookcases will be surrendered with a great deal of reluctance by the reading member of the family. The problem of additional accommodations for a guest is solved by the provision of a bed closet off the living room. The latticed service entry dresses up the driveway to the garage in a pleasing manner.

YOUR LOCAL ARCHITECT WILL PREPARE AND FURNISH YOU WITH WORKING DRAWINGS OF THIS HOUSE

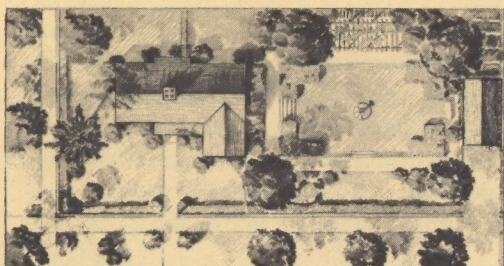




C-103-4



FLOOR PLAN



PLOT PLAN

Total Cubage ..... 18,410 cu. ft.  
 Area of House ..... 1,122 sq. ft.  
 Minimum width of lot ..... .50 ft.  
 (With Driveway)  
 Basement Cubage ..... 2,530 cu. ft.  
 (Under Part of Bldg.)  
 Porch Cubage ..... 150 cu. ft.  
 Material ..... Clapboards and siding

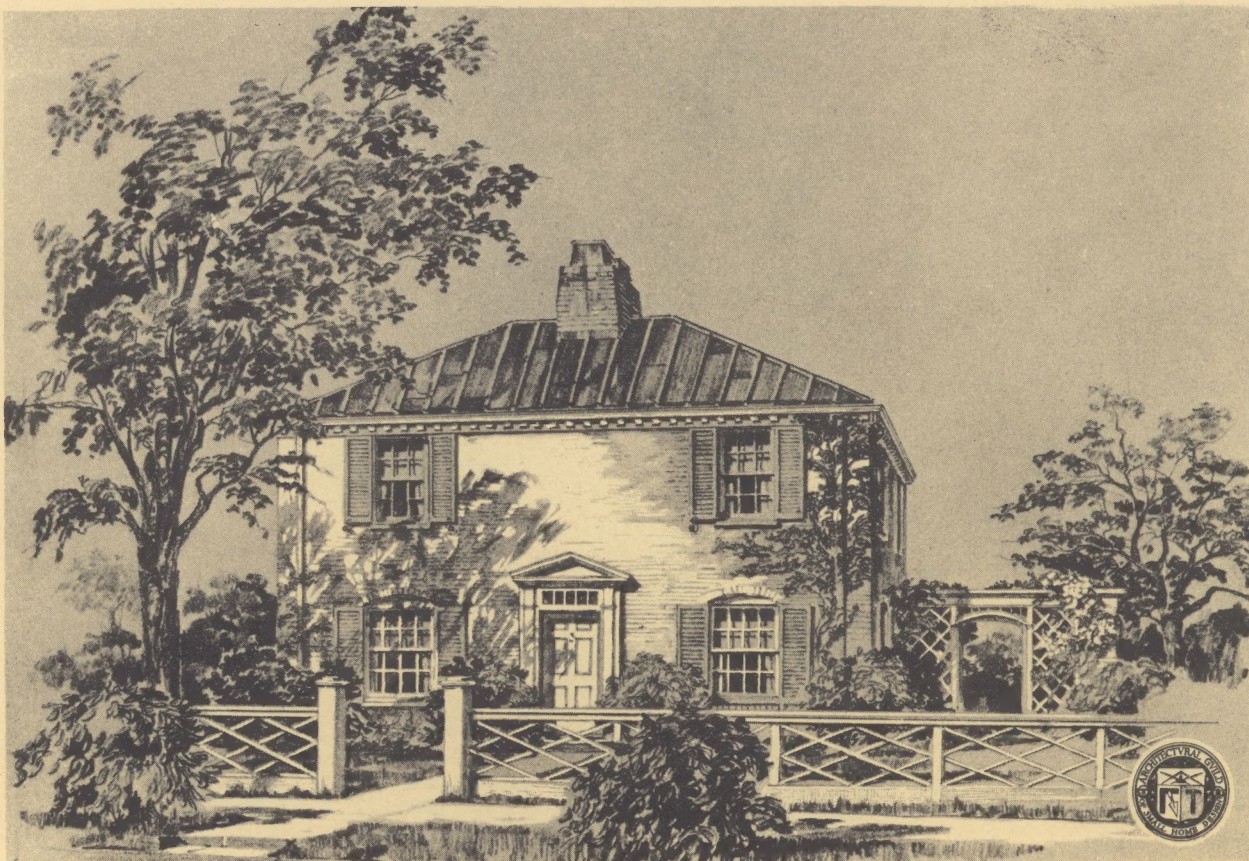
## CAPE COD COLONIAL

For those fortunate enough to own a corner lot, this house is ideal, for with its long lines it adapts itself readily to such a location. All of the rooms are arranged on one floor doing away with the necessity of stair climbing for those who do not choose to climb. The attic space is available, however, for use as storage space or can be finished off into auxiliary rooms. A wooded site would provide an ideal atmosphere for this house however, a lot without trees intelligently landscaped and with vines on the entrance lattice work would give this house a charm difficult to equal.

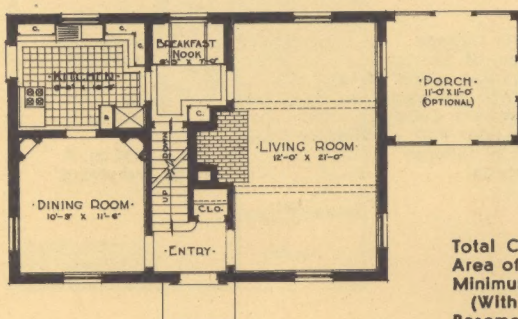
An architect can assist you in choosing a location for this house that will permit a maximum of sunlight and prevailing breeze to enter every room.

WORKING DRAWINGS FOR THE HOUSE ABOVE WILL BE PREPARED BY YOUR LOCAL ARCHITECT



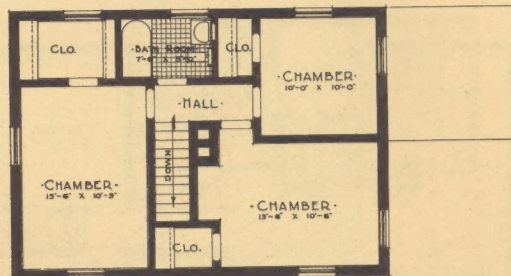


C-104-6

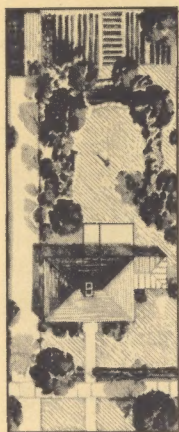


• FIRST FLOOR PLAN •

Total Cubage ..19,852 cu. ft.  
Area of House.....744 sq. ft.  
Minimum width of lot..55 ft.  
(With Driveway)  
Basement  
Cubage .....5,952 cu. ft.  
Porch Cubage ....484 cu. ft.  
Material—  
Common Brick Painted



• SECOND FLOOR PLAN •



• PLOT PLAN •

## GEORGIAN COLONIAL

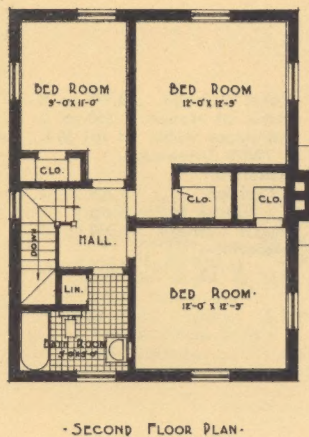
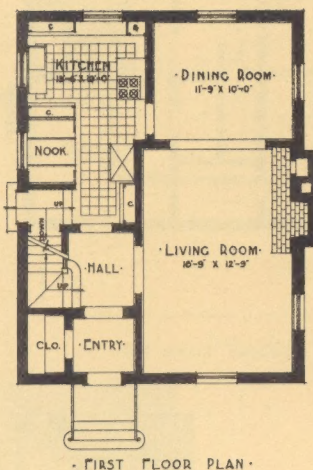
The Georgian style of architecture, of which this house is a good example, was developed chiefly in the larger towns of early Colonial days. Although square in aspect it has a classic formality that relies for its success on excellent proportion combined with beauty of detail. It adapts itself most readily to the urban or semi-urban setting. Brick is the logical material for the walls but must be chosen with utmost care to produce the most pleasing effect. Your architect will help you select the right type of brick. Each of the three bedrooms has ample closet space and is but a step from the bath.

SEE YOUR LOCAL ARCHITECT FOR WORKING DRAWINGS OF THE HOUSE SHOWN ABOVE





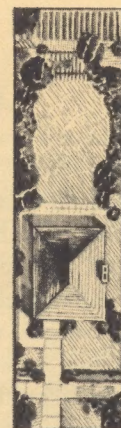
C-105-6



Total Cubage .....21,150 cu. ft.  
 Area of House.....744 sq. ft.  
 Minimum width of lot.....35 ft.  
 Basement Cubage...5,952 cu. ft.  
 Material.....Red Brick

## GEORGIAN COLONIAL

For those who have a narrow lot, this house is particularly suitable. Designed in the Georgia spirit, it has a distinguished air about it that marks its owner as a person of formal taste. It has a sense of order and proportion that assures one that even the minutest detail has been considered. and yet it has an air of freshness and spontaneity. The rooms are compactly arranged within a rectangle but are of ample size and have plenty of closet space. Each one has an exposure on either the garden side or the entrance side of the house and is thus assured a plentiful supply of light and air.



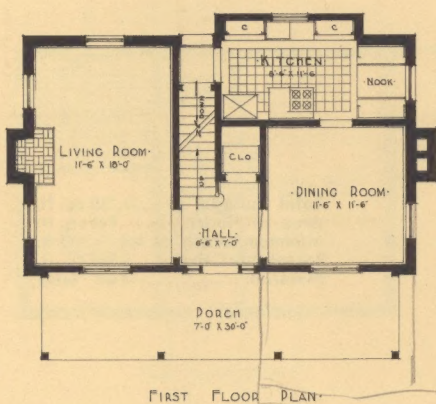
• PLOT PLAN •

YOUR LOCAL ARCHITECT WILL PREPARE AND FURNISH YOU WITH WORKING DRAWINGS OF THIS HOUSE



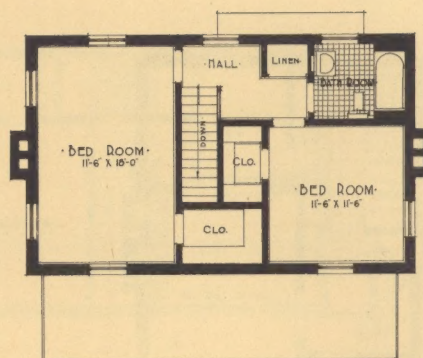


C-106-5



FIRST FLOOR PLAN

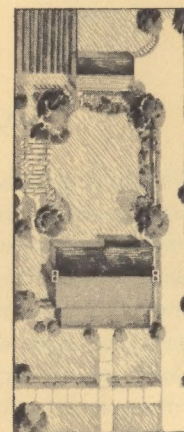
Total Cubage...18,925 cu. ft.  
Area of House...650 sq. ft.  
Minimum width of lot.50 ft.  
(With Driveway)  
Basement  
Cubage .....5,200 cu. ft.  
(Under Entire Bldg.)  
Porch Cubage ..1,050 cu. ft.  
Material—  
Brick and Clapboards



SECOND FLOOR PLAN

## SOUTHERN COLONIAL

There is a wealth of beauty in this adaptation of a typical Southern Colonial residence. With a broad veranda that affords its occupants friendly protection from sun or storm, it retains some of the stately dignity of the larger southern "mansions." The plan has been changed just enough from the traditional Colonial arrangement to provide large rooms and closets within a compact space. The kitchen should appeal particularly to the housewife who demands efficiency in this part of the house for although ample in size its compact arrangement saves many footsteps. If desired, the larger bedroom on the second floor, could be provided with a wood burning fireplace.



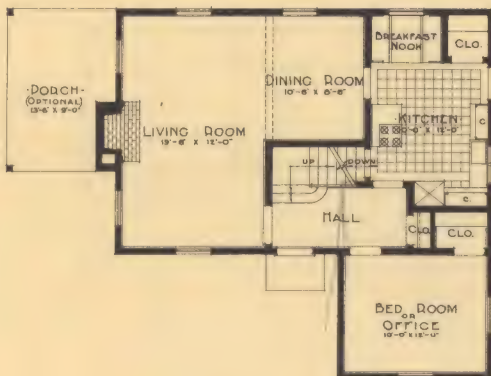
PLOT PLAN

WORKING DRAWINGS FOR THE HOUSE ABOVE WILL BE PREPARED BY YOUR LOCAL ARCHITECT

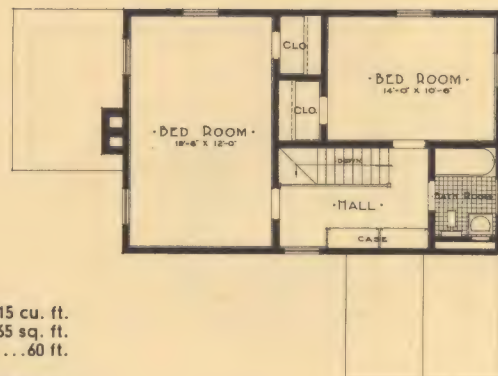




C-107-6



· FIRST FLOOR PLAN ·



· SECOND FLOOR PLAN ·

Total Cubage.....19,115 cu. ft.  
 Area of House.....765 sq. ft.  
 Minimum width of lot....60 ft.  
 (With Driveway)  
 Basement Cubage...5,160 cu. ft.  
 (Under Entire Bldg.)  
 Porch Cubage .....605 cu. ft.  
 Material..Shingles and Siding



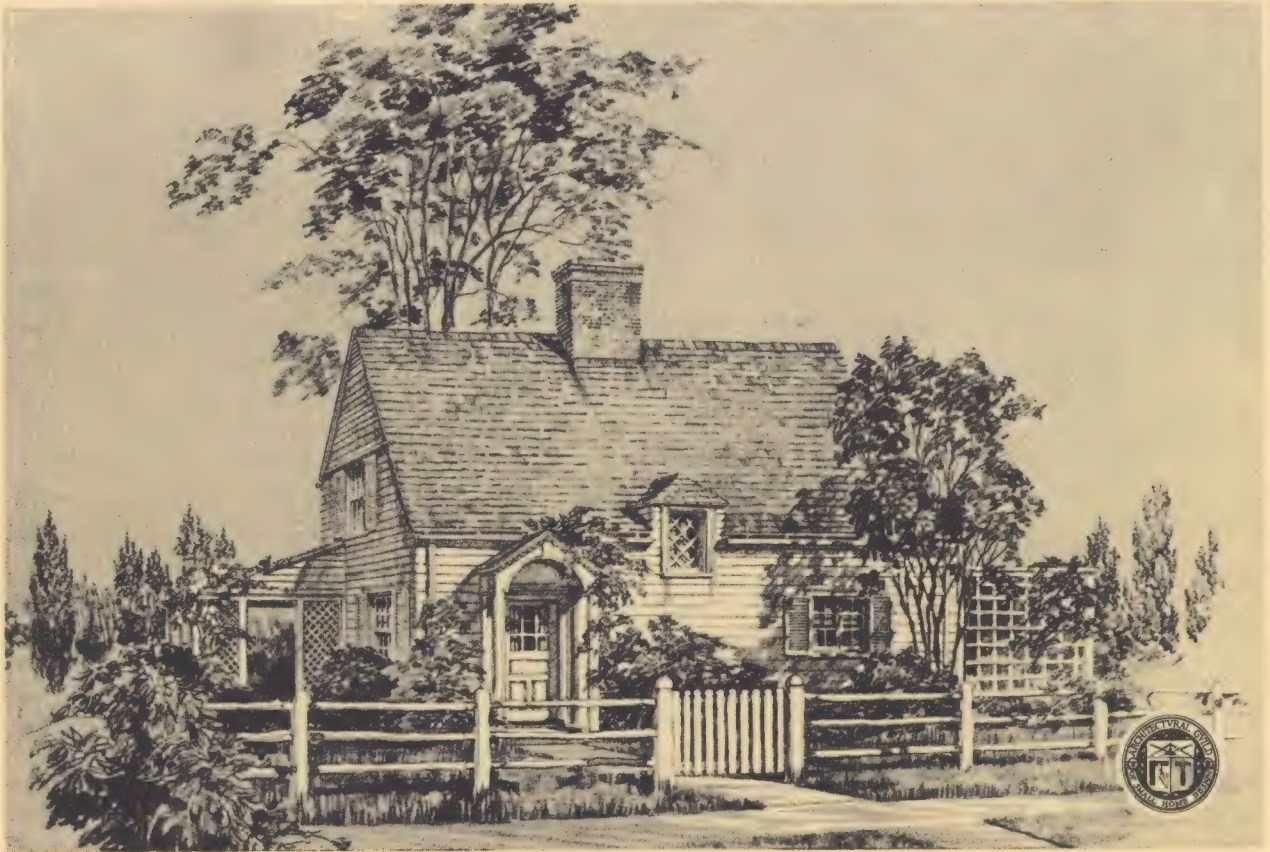
· PLOT PLAN ·

## CONNECTICUT COLONIAL

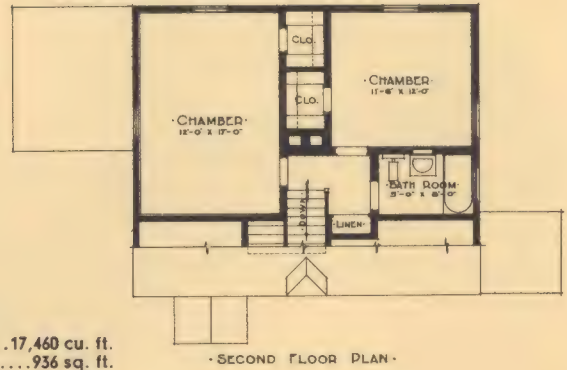
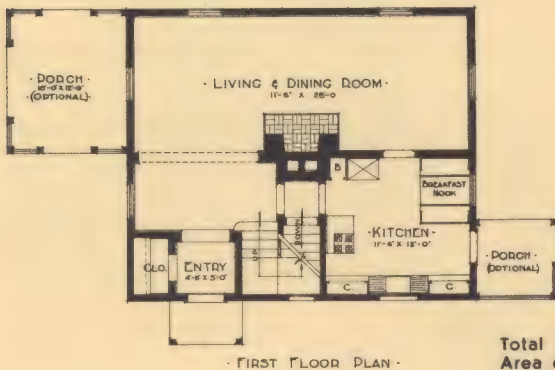
This house has a double-duty room on the first floor that can serve as a bedroom for a member of the household who finds that climbing stairs is not the sport it used to be. The arrangement of the living room and dining room gives spaciousness to the interior and while affording an abundance of light and air, provides sufficient privacy if strangers await in the hall. On the second floor, there are two good sized bedrooms, each with a large closet. In the stair hall there is cabinet space to take care of the storage of bedroom and bathroom linen as well as out-of-season clothing. The professional man who finds it necessary to provide an attractive place in his home for interviews will find this house admirably fills his needs.

SEE YOUR LOCAL ARCHITECT FOR WORKING DRAWINGS OF THE HOUSE SHOWN ABOVE





C-108-5



Total Cubage .....17,460 cu. ft.  
 Area of House.....936 sq. ft.  
 Minimum width of lot.....60 ft.  
 (With Driveway)  
 Porch Cubage .....936 cu. ft.  
 Basement Cubage .....2,850 cu. ft.  
 Material ..... Clapboards

## CAPE ANN COLONIAL

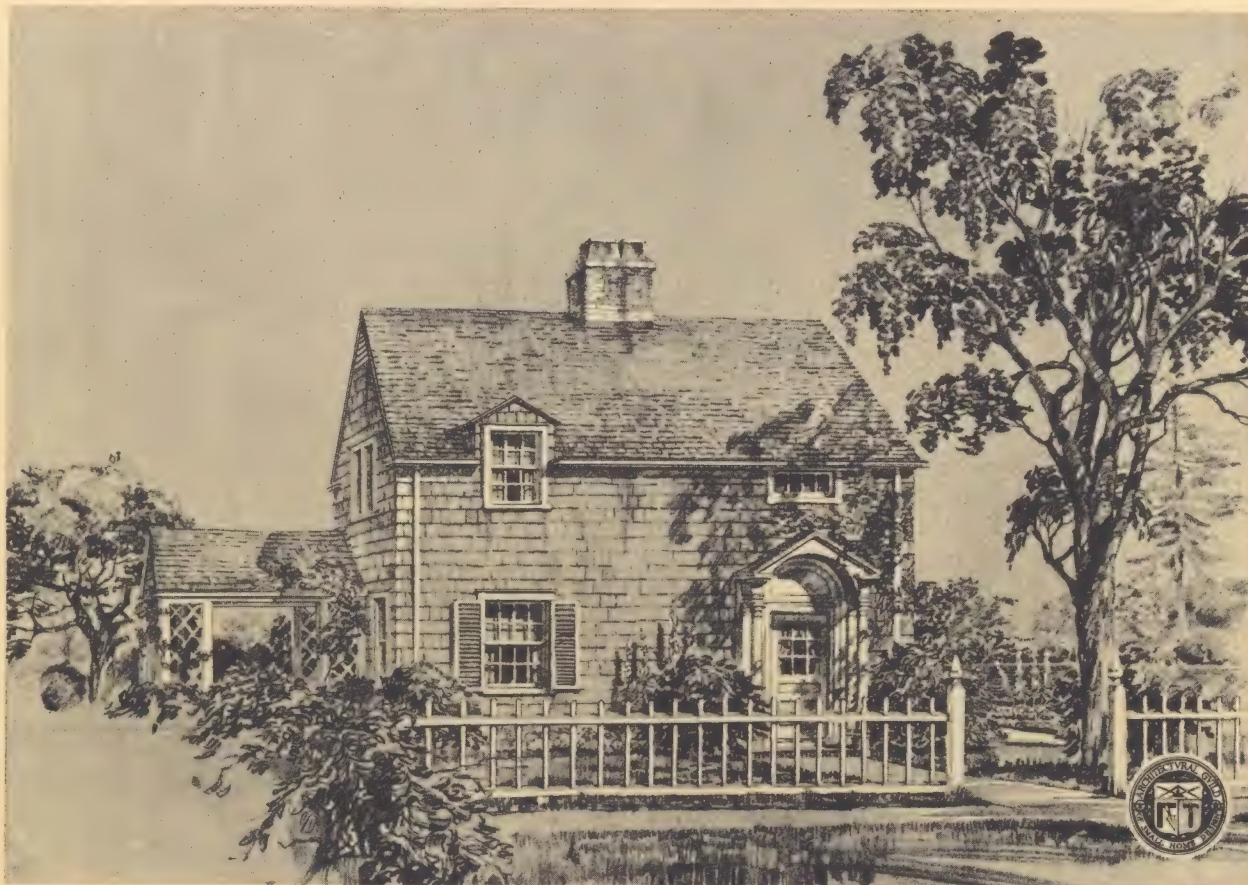
From the street this house has the appearance of a picturesque cottage but when once inside, one cannot help but be impressed with its roominess. The open living and dining room combination is certain to be a bright and cheery place all year round. Supping on wintry nights with crackling logs in the fireplace will be a joy not soon forgotten by the owner of this house. The principal rooms placed on the garden side of the house, in keeping with the modern trend, promises vistas of colorful beds of flowers during spring, summer and fall and at the same time gives protection from the noises of street traffic.



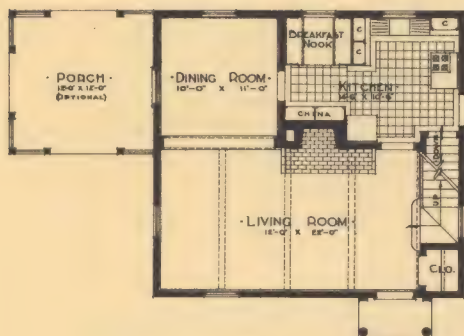
LOT PLAN

YOUR LOCAL ARCHITECT WILL PREPARE AND FURNISH YOU WITH WORKING DRAWINGS OF THIS HOUSE

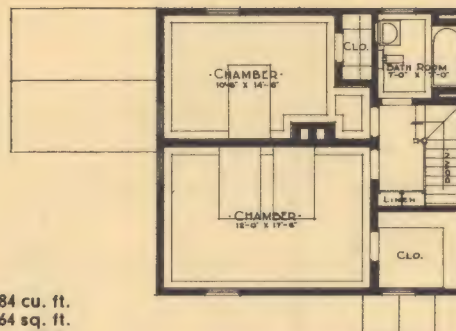




C-109-5



· FIRST FLOOR PLAN ·



· SECOND FLOOR PLAN ·

Total Cubage .....17,984 cu. ft.  
 Area of House.....664 sq. ft.  
 Minimum width of lot.....50 ft.  
 (With Driveway)  
 Basement Cubage .....5,312 cu. ft.  
 (Under Entire Bldg.)  
 Porch Cubage .....720 cu. ft.  
 Material.....Wood Shingles



· PLOT PLAN ·

## NEW ENGLAND COLONIAL

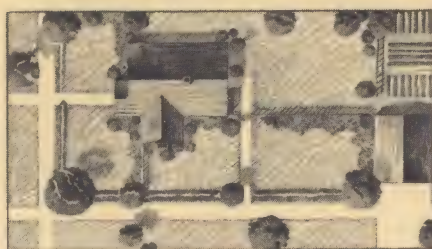
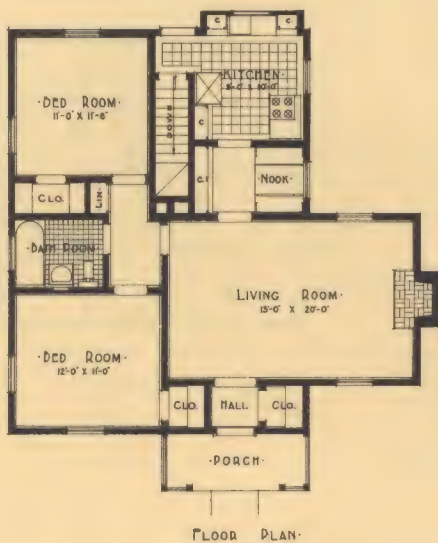
Possessing all the qualities of Colonial grace and simplicity this home has a modern arrangement in plan that provides large rooms seldom found in a house of this size. Although big enough to take care of the daily needs of the family, the dining room space may be enlarged into the living room to take care of those occasions when one wishes to gather friends for a celebration. The roomy closet on the second floor can be fitted up attractively as a dressing room if so desired. If conditions of the adjoining lot, as well as orientation, make it feasible, the position of the porch may be changed to bring it opposite the living room.

WORKING DRAWINGS FOR THE HOUSE ABOVE WILL BE PREPARED BY YOUR LOCAL ARCHITECT





C-110-4



·PLOT PLAN·

Total Cubage .....16,993 cu. ft.  
 Area of House.....906 sq. ft.  
 Minimum width of lot.....50 ft.  
 (With Driveway)  
 Basement Cubage .....3,032 cu. ft.  
 (Under Rear Portion Only)  
 Porch Cubage .....270 cu. ft.  
 Materials.....Clapboards and Siding

## VERMONT COLONIAL

In southern Vermont, many homes were built in Colonial days by craftsmen who were strongly influenced by the work of the Adam brothers of England. This house with its beautifully proportioned gable, pierced by a half round window, owes the inspiration of its design to the work of those craftsmen. Note how skillfully a wide and a narrow clapboarding have been used with quoins on the exterior walls.

The plan has been so arranged that the bedrooms are segregated from the living parts of the house for quietness and seclusion. There is a nice flexibility of dining accommodations, for either the breakfast room or fireplace corner of the living room are available.

SEE YOUR LOCAL ARCHITECT FOR WORKING DRAWINGS OF THE HOUSE SHOWN ABOVE





C-111-4

Total Cubage .....13,481 cu. ft.  
 Area of House.....868 sq. ft.  
 Minimum width of lot.....50 ft.  
 (No Basement)  
 Porch Cubage .....702 cu. ft.  
 Material ..... Clapboards

## CAPE COD COLONIAL

For those who desire a compact, comfortable home with all the rooms on one floor, this house will admirably suit their needs. It is particularly suitable for conditions where a basement is not desirable. Adequate space is provided for a heating unit, just off the service entrance to the kitchen.

The living room of this house is a most attractive place, with a fireplace at one end and a built in bay window at the other. The ceiling can be either flat and plastered or the roof trusses can be exposed and stained. Two bed closets are provided for extra sleeping accommodations. With windows on three sides, the cross circulation will make it a wonderfully cool place on hot days. The bedroom suite is thoroughly isolated from noises in the other parts of the house.



FLOOR PLAN



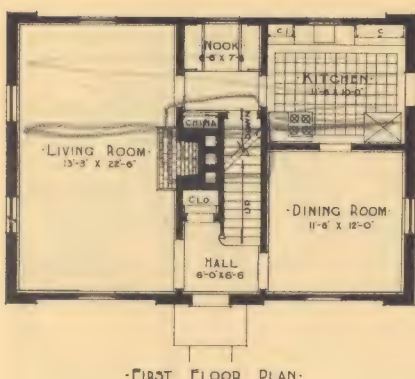
PLOT PLAN

YOUR LOCAL ARCHITECT WILL PREPARE AND FURNISH YOU WITH WORKING DRAWINGS OF THIS HOUSE



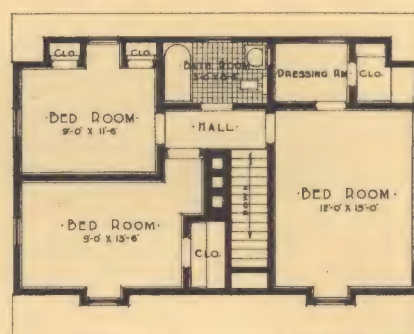


C-112-6



FIRST FLOOR PLAN

Total Cubage...20,606 cu. ft.  
Area of House...799 sq. ft.  
Minimum width of lot...50 ft.  
(With Driveway)  
Basement  
Cubage .....6,392 cu. ft.  
(Under Entire Bldg.)  
Materials—  
Stone and Clapboards



SECOND FLOOR PLAN



PLOT PLAN

## DUTCH COLONIAL

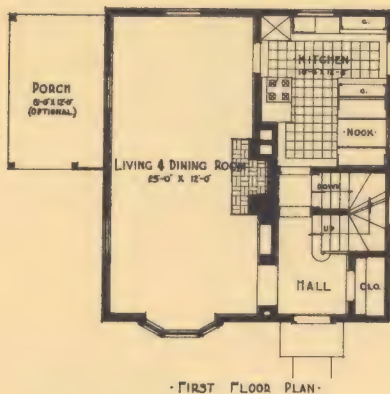
To the early settlers from Holland, we owe the inspiration for this house. It has a quaint and picturesque quality about it that will always appeal to those who wish to have their home informal in character. The use of a variety of materials for the exterior walls, that is a feature of many of the Hollanders' early homes, is handled here in a masterful way. There is nice proportion in the relation of window space to wall area and in the characteristic gambrel roof with its low curved overhanging eaves. Although apparently only one story in height, advantage is taken of its peculiar type of roof construction to provide 3 bedrooms on the 2nd floor with plenty of closet space and a dressing room for the master's room.

WORKING DRAWINGS FOR THE HOUSE ABOVE WILL BE PREPARED BY YOUR LOCAL ARCHITECT

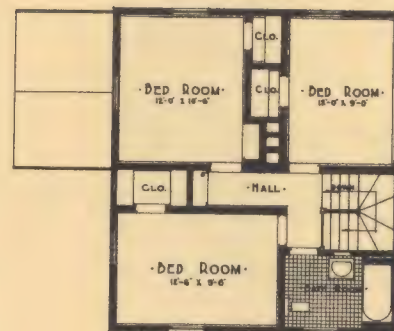




C-113-6



Total Cubage...18,408 cu. ft.  
 Area of House...624 sq. ft.  
 Minimum width of lot...40 ft.  
 Basement  
 Cubage .....4,992 cu. ft.  
 Porch Cubage ....480 cu. ft.  
 Material—  
 Clapboards and Siding



## MASSACHUSETTS BAY COLONIAL

Closely resembling a type found in and around Salem, this house with the characteristic extended overhang, provides additional room on the second floor without needlessly increasing the area of the first floor. An exceptionally intelligent floor plan saves many steps in housekeeping. Here again we have combined living and dining room which affords many possibilities for interesting placement of furniture, especially around the bay window at the front. A bowl of freshly cut flowers from the garden or pieces of Colonial glassware in ambers, blues and greens placed in the bay window with its diamond shaped panes of glass, would produce a delightful effect both inside and out.



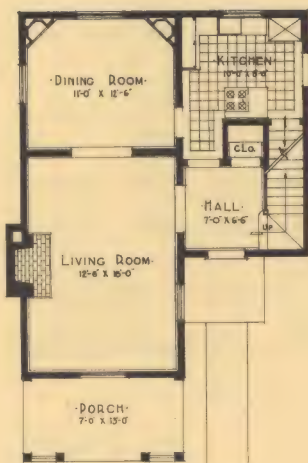
•PLOT PLAN•

SEE YOUR LOCAL ARCHITECT FOR WORKING DRAWINGS OF THE HOUSE SHOWN ABOVE

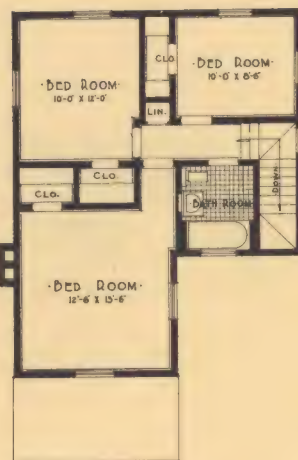




C-114-6



• FIRST FLOOR PLAN •



• SECOND FLOOR PLAN •

Total Cubage .....17,122 cu. ft.  
 Area of House.....627 sq. ft.  
 Minimum width of lot.....35 ft.  
 Basement Cubage .....5,016 cu. ft.  
 (Under Entire Bldg.)  
 Porch Cubage .....455 cu. ft.  
 Materials..Clapboards and Siding

## VERMONT COLONIAL

With an "L" shaped plan that provides interesting angles both inside and out, instead of the usual rectangular plan, this house recalls the sturdy homes of central Vermont. Wide and narrow clapboards are used to give a pleasing contrast to the wall areas of the projecting wings. An attractively designed entrance is protectively placed in the inner corner of the angle of the ell and foretells the warm welcome in store for the friendly visitor. Corner cabinets in the dining room filled with colorful china and glassware, will give a distinctive character to this room that is so pleasing in the typically Colonial home.



• PLOT PLAN •

YOUR LOCAL ARCHITECT WILL PREPARE AND FURNISH YOU WITH WORKING DRAWINGS OF THIS HOUSE





C-115-6



·FIRST FLOOR PLAN·

Total Cubage...19,556 cu. ft.  
Area of House....681 sq. ft.  
Minimum width of lot...60 ft.  
(With Driveway)  
Basement  
Cubage .....5,448 cu. ft.  
(Under Entire Bldg.)  
Porch Cubage.....560 cu. ft.  
Material.....Wood Siding



·SECOND FLOOR PLAN·



·PLOT PLAN·

## CONNECTICUT COLONIAL

Recalling the many charming farmhouses nestled in the lower Connecticut valleys or found across the sound on Long Island, this house has an interesting relation of windows to wall surfaces that makes it a logical design for a wooden structure. An ingenious staircase conserves floor space that is used for a dining room on the first floor and an additional bedroom on the second floor. The ample provision for storage of bedroom linen as well as an extra cupboard for bathroom towelings, should be a delight to the housewife who likes to have a place for everything and everything in its place. The porch, which may be enclosed if desired, furnishes an ideal place to serve a cool and refreshing meal on hot summer days.

WORKING DRAWINGS FOR THE HOUSE ABOVE WILL BE PREPARED BY YOUR LOCAL ARCHITECT





## FACTS YOU SHOULD KNOW ABOUT THE BUILDING OF YOUR HOME

**A Home of Permanent Architecture and Sound Construction  
Is the Product of a Competent Architect—an Able Contractor—and Skilled Craftsmen, Using Correct Materials.**

### FINANCING

In the building of a home there are many progressive steps that should engage the attention of the owner. It is important that he give careful thought to the problems that are preliminary to the actual building of his home, for a great deal of the ultimate success of his whole home building venture, depends on the wise consideration he gives to these matters.

He should determine his family's requirements; the financing necessary; select a suitable site—retain a competent architect and employ a reliable contractor. Furthermore (and this is vitally important) the selection of materials and equipment should be done in consultation and, if necessary, personal examination with his architect.

Having selected a design of a house answering his family's requirements and having received from his architect an estimate of its cost, the owner then proceeds to seek adequate financing.

If a home is properly designed by an architect and it is assured that it will be structurally sound and built of the best of correct materials, the local reputable loaning agencies will give the owner a better loan than he could possibly expect on a home lacking these necessary elements.

Furthermore, it must be remembered that a home built according to the plan outlined in this document, will always be in good taste and maintain a satisfactory resale or loan value. For general authoritative information on the subject of Home Financing, the U. S. Department of Commerce has available documents which are furnished on request.

### SELECTION OF SITE

The selection of the home site should be given long careful consideration. An intelligent choice will add immeasurably to the success of home building.

Therefore, one must thoroughly study the community as a whole, analyze its trend of development, the type of occupancy, transportation facilities to work, schools, church and shopping centers. One must also secure proper appraisals on land values.

Once the above points have been carefully considered, the next step is the selection of a suitable site. In choosing a particular lot, one should check up on its topography as well as the character of its soil. The total cost of your building may be increased by unfavorable conditions that would require a great amount of work in leveling off the site or in overcoming unstable conditions of the soil. The site should have proper drainage. Sunshine, prevailing winds, view and orientation of the house are factors of equal importance. These conditions vary in every community, there is no rule of thumb to safely guide the home owner. Your local architect and realtor will advise you on these important points.

With the decision to build and the selection and fitting of the house to the site, as well as the determination of the architectural style, and the considerations of essentials in planning, it is now of prime importance that the home builder give proper thought and familiarize himself with the type and quality of materials to be used throughout his house, together with the selection of equipment as indicated on the following pages.



## FOUNDATIONS

It is as true today as it was in Colonial times, that a house is no better than its foundation. Today, there are many modern conveniences and inventions, that have created new functions and necessities of life which have a direct result upon the construction of our homes. Nowhere is this more apparent than in our basements and foundation walls.

The foundation now serves the twofold purpose of supporting the structure of the home and providing decorative walls for habitable rooms, in the nature of dens, playrooms, etc.

The bottom of the foundation, known as the footing, should rest on firm soil below the frost line. Failure or sinking of the bearing soil, or heaving of the ground produced by frost causes footings and foundation walls to crack and break up. This action is carried to the upper structure of the house with disastrous results.

The depth of footings and basement is determined by a number of considerations, such as, condition of the soil, terracing of the house, depth of sewer, etc. All these problems should be considered in consultation with your local architect.

## MATERIALS

There are various materials that may be employed in the building of the foundation walls of your home, such as concrete, brick, cinder or concrete blocks. The selection of one of these materials to use is dependent on the conditions encountered on your property, availability of materials and the effect desired on the interior walls.

**Concrete** is a mixture of cement, sand, gravel and water put in place while in a plastic condition. The importance of using good quality materials is apparent. Sand should be sharp and clean, free from clay, loam or other impurities and the gravel should be hard and clean. Cement as sold by the outstanding companies is manufactured under strict chemical control and one may have absolute confidence in its quality.

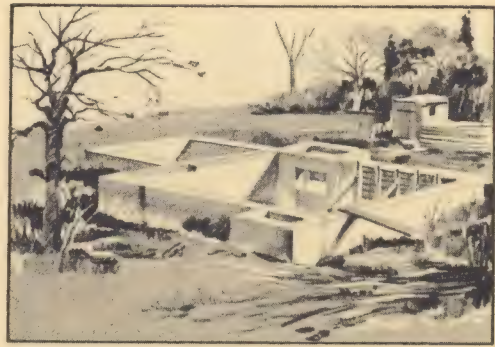
**Brick** foundations should be of hard burned brick laid in a heavy bed of rich cement mortar. This type of foundation should be used only when installed by an accredited contractor recommended by your architect. It will give a pleasant aspect to any room in your basement and needs little or no care or attention.

Numerous types of cinder or concrete blocks are now on the market and in certain localities are used for foundation work. They are usually of hollow construction, being light in weight, capable of withstanding structural loads as well as being economical, insulating and dampresisting.

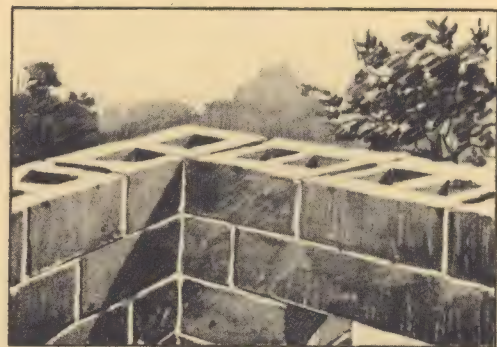
**Waterproofing** the foundation made of any of these materials, by a plaster or brush coat of waterproofing compound is to be recommended. There are a number of good makes on the market.

Where much underground water is encountered it is well to lay drain-tile with open joints around the outside of the footings and drain to a lower level or sewer.

It can readily be seen why the services of an architect are practically indispensable in the supervision of the foundation of your home.



Concrete makes a durable and practical as well as a pleasing basement wall or foundation.



Cinder or Concrete Block Foundations are economical and desirable in certain localities.

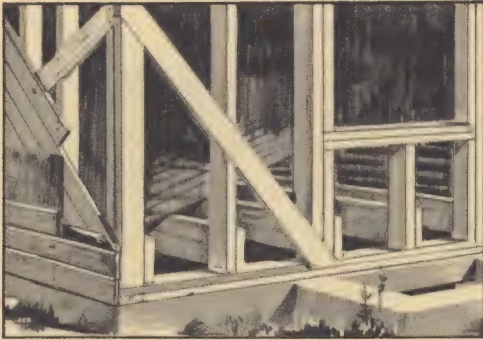


Brick makes a practical foundation and gives a pleasant and finished appearance to the basement.



A basement should be a livable portion of your home. Not just a storeroom.

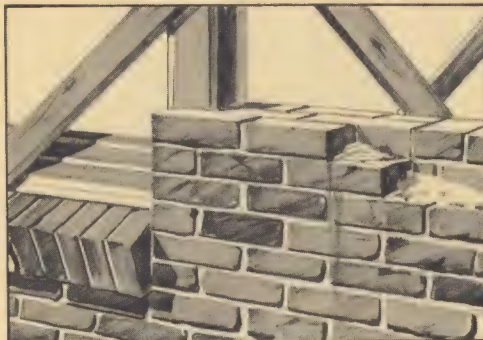




Wood framed houses are durable and economical. For type of construction consult your architect.



Brick Veneer has the appearance of a solid brick wall yet has the economy of frame construction.



Solid Brick Walls are advantageous in certain localities and answer definite problems of construction.



Wall boards, with insulating qualities may be used in place of wood sheathing if advised by architect.

## THE FRAMEWORK OF THE BUILDING

**Frame Construction** is the name given to construction using only wood for framework. A great many early Colonial houses were of frame construction. Today we have two types of this form of construction generally known as Braced Construction and Balloon Construction.

In the balloon type of construction the vertical supporting members or studs are generally 2" x 4" and extend from top of foundation to the eaves line of the roof as one piece. These studs are held rigidly in place by the boarding nailed to the outside of the studs. Wherever openings occur the studs immediately adjacent are doubled and carry the load of the displaced member. Bracing is used at least once in every story height, between the studs and above all openings.

In braced or rigid framing, the vertical members extend from floor to floor only. These are held rigidly in place by a system of diagonal bracing and the entire structure is self supporting irrespective of any covering of boards.

These boards or sheathing, as they are commonly known, are usually 1" x 6" and not only add strength and rigidity to the structure, but also serve as a base for outside covering of clapboards, siding or shingles or for the veneer of brick.

**Veneer Construction.** Masonry veneered walls have been built for a hundred and fifty years or more and given complete satisfaction. The shell of the building is of frame construction and self supporting. A veneer of brick or stone, generally 4" in thickness, is then applied to the sheathing and held in place by metal ties placed at frequent intervals. This type of construction was invented to combine the exterior appearance, economy of upkeep and the fireproof qualities of a masonry house with the economy of frame construction.

**Solid Masonry Walls.** In some localities the solid masonry wall is the most logical type of construction. It may consist of either face brick, hard burned common brick or stone for the exposed or outside surface backed up and joined with any number of materials such as common brick, tile, concrete block or cinder block. The outer surface is bonded directly to the backing in this type of construction and the wall is considered as a unit for the carrying of all loads. The air spaces in the Hollow tile or Concrete blocks form a protection against dampness and against heat in summer and cold in winter. The qualities of low cost of maintenance, durability and fireproofness as possessed by brick are also found in these materials. A good combination is that of a hollow tile or concrete block used with a brick facing. This gives the desirable insulation possessed by the tile or blocks together with the architectural effects of brick.

In any type of solid masonry it is necessary to nail wood furring strips on the inside as a nailing base for the plaster and lath, otherwise any dampness that might possibly penetrate the wall would ruin the plaster and mar the decoration.

Your local architect is familiar with these construction methods and their appropriate use in your locality. Consult him before arriving at any definite decision in this regard.



## EXTERIOR WALL MATERIALS

A variety of available materials were used by the Colonial builder for exterior wall treatment. The most adaptable of these are shown here.

**Clapboards and Siding** are long boards of selected grade usually available in widths of 4", 6", 8", 10". Care must be taken to use the correct width as each creates a different effect. They should be made of White Pine, Redwood, Cedar, Cypress, or Spruce, should be straight grained, free from knots or cracks, and have the nailing shellacked, for defects will show through the paint. If an aged and weathered effect is desired, a less perfect grade of lumber can be used and stained. Cypress, owing to its coarse grain, is better adapted for staining than for painting.

**Shingles** are 16" to 24" long but are random in width. Only about  $\frac{1}{3}$  of their length is exposed to the weather, the remainder is covered by the shingles above it. They are made from Cedar, Redwood or Cypress and should be edge-grain rather than surface-grain cuts. The natural shingle, allowed to weather by itself, acquires a pleasing effect. However many shingles on the market, treated with creosote or bleaching oils, can be had in grays, browns and other colors that make a beautiful wall. Shingles, to endure, should be secured with galvanized or copper nails.

The treatment of the outside corners of walls, is very important. Corner boards are suitable but mitering of Clapboards and shingles is preferred.

A good grade of waterproof building paper with well lapped joints should always be placed under clapboarding, siding or shingles.

**Bricks** are about 8"x4"x2" in size and are known as face or common brick. The latter are usually used for "backing" but if hard burned, can be used for facing a wall which if painted, imparts a distinct charm to the house. Although now made by machinery, bricks can be had that possess the old Colonial qualities. Mortar joints should be conservative—not more than  $\frac{1}{2}$ " thick with very little, if any, coloring. Either English, Flemish or Common bond can be used very appropriately in brick Colonial walls. Do not use tricky or unusual bonds.

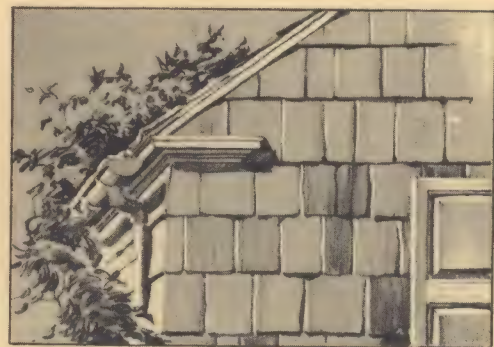
**Stone**, if structurally sound, of good color and texture, is a natural building material, the use of which should be encouraged if readily available in your locality. It is quarried in any desired size and there are infinite ways of laying it up. Be sure to have a skillful stone mason do the work for you. Ask him to prepare a good sized sample of the wall he proposes to use for your house.

The success of your house architecturally, will depend a great deal on the correct use of the proper materials in the exterior walls. Let an architect guide you in obtaining the material best suited for the walls of your new home, for whatever type of house you choose to build, it is essential that it be well built.

Careful thought and effort spent in the selection of materials, will be fully rewarded in future years by minimum maintenance costs and little or no loss in depreciation.



The use of clapboards and siding produces crisp, horizontal lines, typical of Colonial houses.



Shingles, either natural or stained, give a soft pleasing texture to the exterior walls of a house.



Bricks should be reddish in color, somewhat irregular in shape and laid up in a conservative bond.

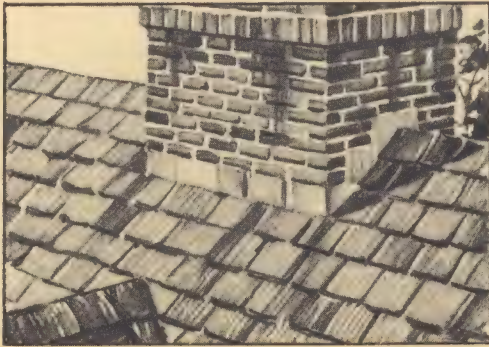


Stone can be laid up in numerous ways but for the most pleasing effect, accent the horizontal lines.

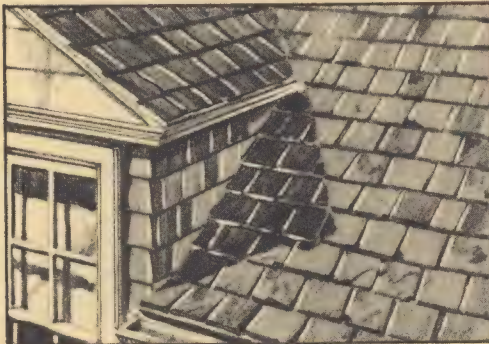


## ROOFING

The roofing of a Colonial home defines the character of the building as much as the walls, windows and doors. The most widely used materials for this style of home are Wood Shingles, Slate Shingles and Metal.



A wood shingle roof of good material and with proper flashing will serve long and faithfully.



A slate roof of natural coloring is permanent, protective and beautiful.



Copper, zinc or galvanized iron are adaptable for roofs, where the pitch is low.



The doorway of your Colonial home is the most important individual element in the exterior design.

**Wood Shingles:** Time has demonstrated that Cedar, Redwood and Cypress make the best wood shingles. These may be either sawed or split, with the latter being larger, heavier and more costly, but longer lived. Both sawed and split shingles are obtainable in numerous color ranges as well as being thoroughly dip-stained in a creosote solution to act as a preservative for the wood. Wood shingles should be laid with about  $\frac{1}{3}$  of their length exposed to the weather and secured with real iron or galvanized iron nails. Proper nailing will add a number of years to the life of the roof.

**Slate Shingles:** The roof of slate is one of the oldest and from its nature, one of the most satisfying of all roofs. It is a natural product, formed by hand and colored by nature. Whereas slate is not an inexpensive roofing material, no comparisons should be made without due consideration of its qualities of permanence and fire resistance. Copper nails should be used in securing slate shingles.

**Metal Roofs** are made of Galvanized Iron, Copper or Zinc. A roof of this type of material is rather expensive, but under certain local conditions, advisable for your home. The ideal roof is one that is permanent, protective, beautiful and architecturally in character with its house.

**Sheet Metal:** The rain water from a roof is collected in metal gutters at the eaves and carried down to the sewer by means of metal conductors or downspouts which may be made of tin, galvanized iron, copper or zinc. Tin is not a lasting material while galvanized iron if well painted is fairly permanent. Copper and zinc, on the other hand, are very durable and extremely satisfactory and in spite of the slight additional cost are to be highly recommended.

The architect has no illusions in regard to this roofing question. Consult him and make a personal examination with him of the better roofing materials now available.

## EXTERIOR WOODWORK

Expression of character and style of your house is defined and emphasized by your exterior woodwork. Aside from the wall surfaces in either a frame or masonry house, there are a number of items such as cornices, porches, mouldings and doorways which are deserving of particular attention.

Practically all the houses of the colonial period were the design and workmanship of local carpenters and masons. Most of these men were masters of their craft and, moreover, were men of artistic sense. Their work is identified with a refinement not only in mass but in harmony and proportion of detail. Because of this, colonial design enjoys a permanent place as one of this country's best creations. Belonging to a distinct school, it is intolerant of improper or exaggerated application, and insists upon architectural correctness in every detail.



In keeping with the proper design, all exterior woodwork items must be primarily of good material, preferably white pine, sound and well seasoned. Proper flashing, thorough painting and careful assembly of the wood to avoid expansion and contraction of the material, are elements that demand insistent care and scrutiny.

The doorway of your colonial home is the most important individual element in the design of the exterior. All the doorways of the homes in this document are authentic reproductions of original designs and were selected by the Guild for their richness in tradition of colonial architecture and their simple charm and dignity which contribute greatly to the straightforward beauty of the exterior designs.

**Windows:** In the expression of true architectural feeling in the colonial exterior, windows are no less a factor than the entrance. Upon their authenticity depends the balanced beauty of the whole design. Both double-hung and casement windows are typical of the colonial period.

"Doubly-hung" windows have two sashes, each one-half the height of the window, and each hung with cords and weights or fitted with sash balances, so as to slide up and down.

Casement windows have the sashes divided vertically, each being hinged at the side like a pair of doors, to open either in or out. This type of window costs less than the double-hung but requires careful workmanship and more elaborate hardware to make them weatherproof and easy of manipulation. Balancing the advantages and defects of "in-swinging" and "out-swinging" casements, the latter has been found to be more satisfactory even though they necessitate screens on the inside.

The material for all these parts of the frame which are exposed to the weather should be white pine, douglas fir, cypress or redwood. White pine is to be preferred when it can be obtained at the desired price. Sash should be of white pine not less than 1 $\frac{3}{8}$  inches in thickness. Both sash and frames should be primed (except pulley stiles) with a coat of lead and oil paint before installing, to prevent weathering and decay. Pulley stiles should be oiled. The different pieces of glass in a window are commonly called "lights," and as a rule the size of the window is indicated by the size of the glass and the number of lights.

## PORCHES AND TRELLISES

A porch is a delightful asset to your home when it serves not only for protection from sun and storm, but also as a connecting link between the living portion of the home and the "outside living room" or garden. With proper design a porch will add measurably to the appearance of your home. It should be roofed with the same material and in the same manner as the house, be simple and correct in design and, if possible, provision made for screening. Flooring of enduring materials to withstand the elements is essential, and for this purpose, cement, brick, or stone is to be preferred.

Privacy is generally desired without detracting from the openness of the porch. This may be obtained by trellis work, with a growth of vines or flowers, or by shrubs and bushes carefully placed and thoughtfully selected. Trellis work in the garden must be done with a certain amount of restraint and an avoidance of exaggeration.



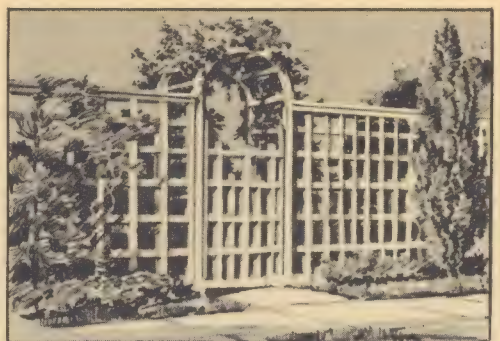
The scale and detail of this doorway are accentuated by the background of rugged stone.



Windows of sixteen lights and frames delicately moulded are enhanced by typical Colonial shutters.

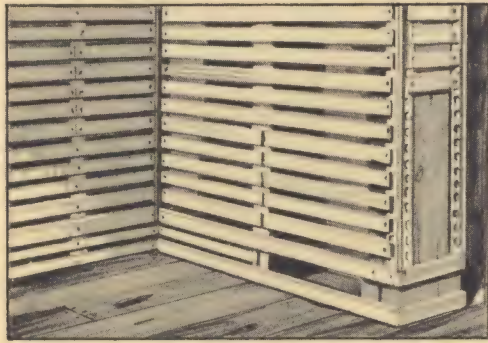


Porches should have a certain degree of privacy and should overlook the lawn and garden.



The trellis, with its flowers and vines is an ideal means of dividing or improving your garden.

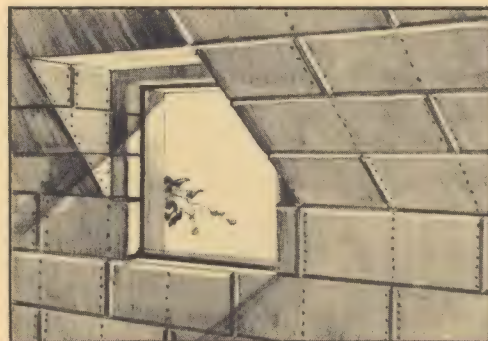




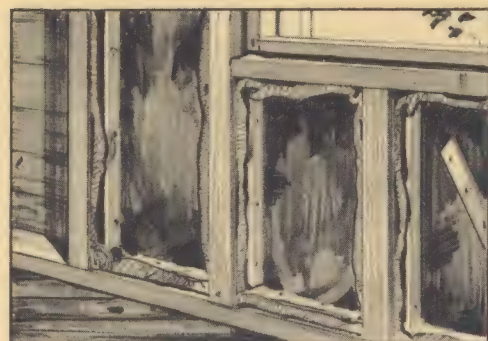
Wood laths require careful spacing and nailing with all corners protected by metal corner beads.



Metal lath reduces contraction and expansion and acts as an ideal key for plaster work.



Wall boards or insulating lath if carefully applied will serve well as a plaster base.



Insulation of the walls and ceilings of your home is an economical investment to be recommended

## LATH AND PLASTER

Because of its cheapness and fire-resisting qualities as well as its adaptability to decorative treatment, plaster, in some form is universally used as a covering on our interior walls and ceilings. It is generally applied on wood lath, metal lath or wall board.

**Wood Lath:** The best wood for lath is either white pine or spruce, with the latter the more widely used. They should be well seasoned, free from sap, bark and dead knots. The usual dimensions of wooden laths are  $\frac{1}{4}$  by  $1\frac{1}{2}$  inches in cross-section by 4 feet in length. When laid they should be spaced about  $\frac{1}{4}$  inch apart to allow the plaster of the first coat to be pressed through and form a key at the back. They should be nailed at every joist, stud or furring strip with nails that are galvanized.

**Metal Lath** is now made in a great variety of forms to meet the requirements of different plaster compositions and varying conditions of construction. They are more expensive than wood laths but are fire-resisting, afford a better grip for the plaster and eliminate contraction and expansion to a great degree.

**Wall Boards** are also used as a ground for plaster. There is a great variety of these boards on the market, the chief ingredients of which are cork, woodpulp or fibre, plaster and asbestos. It is necessary that the Architect's specifications be carefully followed in installing these materials as there are important precautions which might otherwise be overlooked.

**Plaster:** Plastering of the walls and ceiling is usually done in three coats. The first coat is called the "scratch coat," the second the "brown coat" and the third the "finish or skim coat."

The first coat is composed of sand, slaked lime and hair in definite proportions as specified by the architect. This coat is generally put on from  $\frac{1}{8}$  inch to  $\frac{1}{4}$  inch thick, pressed by the trowel between and behind the laths to form a key or clinch.

The second coat,  $\frac{1}{4}$  inch to  $\frac{3}{8}$  inch thick, contains little or no hair and brings the wall and ceiling to an even surface.

The third coat containing lime putty and plaster of Paris is less than  $\frac{1}{8}$  inch thick, hardens quickly and should not be applied until the second coat is dry in order to avoid unequal shrinkage, hair cracks and crazing.

## INSULATION

Adequate insulation provides comfortable interior temperatures during the hot seasons and makes possible the maintaining, most economically, of adequate interior temperatures during the seasons of cold. It is not logical to equip heating systems with fuel saving devices, or insulate steam or hot water lines or in other ways attempt to conserve heat and then permit the same heat to escape through the walls and ceiling of your home.

House insulation is obtainable in many forms through the use of numerous good insulating materials now available. They have all the essentials of low heat conductivity, fire resistance, non-absorbence, sanitation, permanence and economy. Your choice in selecting which material to use should be guided by the advice of your architect.



## HEATING

There are two general types of heating systems in use today known as the Direct and Indirect. The former includes ordinary stoves and the familiar direct steam and hot water radiators located right in the room to be heated. The Indirect system has no heating elements in the room but instead supplies heated air through registers in the walls or floors. Steam heating may be had by any one of three systems.

**One Pipe System:** With this type there is but one pipe from boiler to radiators which serves the dual purpose of supply and return. Good Air Vents and proper pitching of the pipes is essential.

**Two Pipe System:** Here you have a separate supply pipe with branches to each radiator and a return pipe from the bottom of each radiator to the boiler. This assures ready circulation but requires more labor and material for its installation.

**Vapor-Vacuum System:** With this system a valve is installed which permits the air to escape as the steam advances but does not permit the steam to escape or the air to return. When the steam gives off its heat and condenses, a partial vacuum is created, which sucks the water vapor from the boiler and maintains a circulation through the system, even though there are only a few ounces of pressure at the boiler.

**Hot Water System:** Instead of the rapid heating and cooling noticeable with steam, hot water gives forth a steady warmth and more or less of an even temperature. Initial installation cost is greater than steam and larger radiators are required, a feature which is often objectionable.

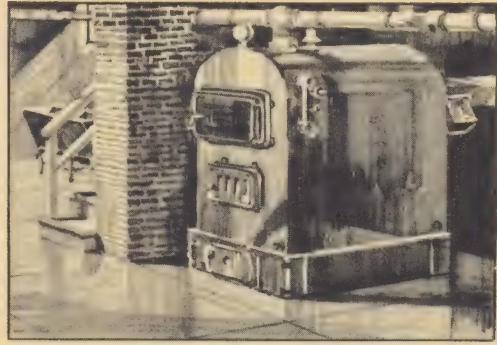
**Radiators:** In the small home where space is always at a premium concealing of the radiators in recesses in the walls is an ideal solution to a difficult problem. There are many types of these radiators operating successfully whose installation costs are not excessive.

**Indirect System:** The one pipe furnace is the simplest unit of indirect heating. For homes one story in height and compact in plan this type of heating might prove to be adequate. It is inexpensive to install.

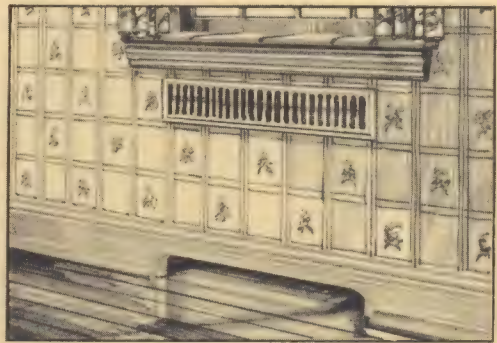
Houses of greater area or two stories in height, require piping of the warm air to the various rooms. There are certain disadvantages to this type of heating, as a strong wind on one or more sides of the house is inclined to affect the circulation, with a consequent insufficient supply of heat in those portions exposed.

## AIR CONDITIONING SYSTEMS

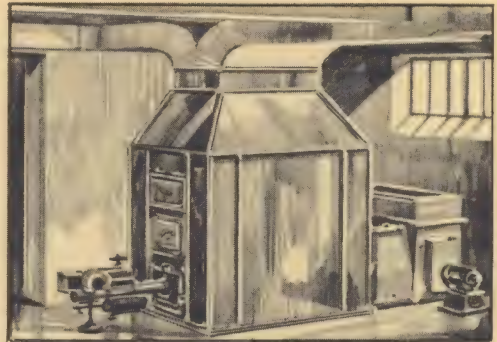
The disadvantages of the above systems have been overcome, however, and numerous features which are to be recommended, have been incorporated in what is called "Air Conditioning Systems of Heating." This system employs the basic principles of warm air heating with supplementary provision for forced ventilation and for humidification. A blower or small fan in the system gives positive circulation of air to even the most remote part of the house. The air is filtered by various means and passes over or into a humidifier which is automatically controlled. Proper humidity is just as much a problem to be considered as is the heating of your home. The selection of the "best type of heating system" is not a simple matter but depends on many factors, the relative importance of which varies with the individual owner, his house and its location. For selection and installation of this work co-operate with your Architect.



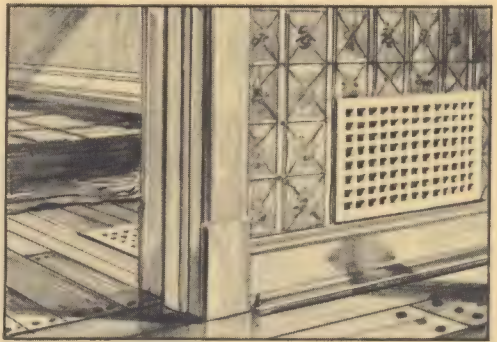
Steam or Hot Water Installations are efficient in operation with either manual or mechanical control.



Invisible radiation affords more room for furniture, is practical and of pleasing appearance.



Conditioned Air, with mechanical control is a healthful type of heating for the home.



Warm and cold air grilles in the walls are not noticeable, are cleanly and saving of space.





A Colonial living room somewhat formal in character, is satisfying in simplicity and dignity.



A Colonial dining room showing a corner case and wainscoting typical of the period.



The environment of the early colonies is expressed in this informal treatment of a fireplace.



Modern kitchens should be efficient and have every convenience. Breakfast nooks add to their efficiency.

## INTERIOR FINISH

The interior of your home must be in harmony with the exterior. The first step in fulfillment of this necessity is the selection of the Interior Woodwork. It is essentially as much a part of the decoration of your home as the painting and furnishing, and consequently must be correct in design.

**Interior Woodwork** covers such items as cabinet work, mouldings, panelling, doors and their trim, stair parts and the many other built-in conveniences.

White Pine is the most widely used material in the interior of Colonial homes. Many other woods, however, are adaptable and are used in certain localities where availability makes them inexpensive and practical.

All interior woodwork must be free from resin, sap-stains and defects of any kind. It must be carefully kiln-dried to prevent warping, twisting and open joints. A few of the better known Millwork companies are producing stock designs of fine quality. Their items, selected by competent architects are correct in design, being in most part reproductions of authentic examples of Colonial woodwork and reflect the beauty and charm of the originals.

**Kitchen Cabinets** are included in interior woodwork and are available in stock designs in many different arrangements and combinations. The features of convenience, sanitation and even color have been studied in detail and every requirement of modern housekeeping has been incorporated in their making. The variety of installations possible as well as the individual requirements are problems that should be decided with the advice of your architect as he is familiar with all these details.

**The Stairway** is an important item of woodwork in the home and nowhere is this more true than in the Colonial home. Correct design in all its parts is essential. The charm of the Colonial stairway lies in its simplicity, its clean cut outline, imparting a sense of dignity and restraint so characteristic of this style.

**The Interior Doors and Trim** have a decided influence on the character of the rooms as well as the furnishings of your home. Colonial doors of good quality materials are available in stock designs and are generally of four or six panels, raised or flat, and average about  $1\frac{3}{8}$ " in thickness.

The interior trim, the finishing detail of the home, should be selected with particular care. In general the simpler the trim the better. It should be tightly jointed thruout, carefully nailed in place and be free from cracks or any other defects.

**The Floor:** The foundation of a room, the most used part of the building, is the floor and of necessity the flooring material must be selected not only for its beauty and effect but also for its durability.

Wood flooring may be divided into two general classifications, Hardwood flooring, including Oak, Maple and Birch, and Softwood flooring such as Pine and Fir. Both of these are manufactured in a number of different grades. These grades are determined by the number and kind of defects in the wood and by



the average length of the boards. A choice of material to be used rests on the basis of the appearance of the wood, the way it is to be stained and the effect desired.

Hardwood flooring is commonly made of boards that are 2" wide by  $\frac{1}{8}$ " in thickness and are obtainable in lengths of from 3 feet to 5 feet. The better the grade, the longer the length. This type of flooring is most generally used in the living portion of the house.

Softwood flooring may be had in various widths with the 4" board the most commonly used. Flooring of greater width is called "plank flooring" and is very pleasing to the eye but also expensive for the average small home. All softwood flooring should be of edge-grain material otherwise it will splinter easily and wear poorly.

For floors subject to a great deal of wear Maple flooring is generally considered the best material and for that reason is to be especially recommended for the kitchen and any other service portion of the home.

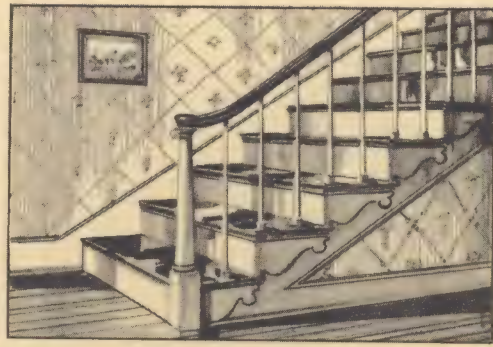
**Finishing:** The color, tone and texture of walls, trim, woodwork and floors are elements which must be in character and harmonious treatment in relation to the furniture of the home.

Color may be given to the walls and ceiling of your rooms by either paints, calcimine or wallpaper. Paint is a practical finish which may be readily washed and kept clean and for that reason is preferable to calcimine. The latter, however, is simpler to apply and is less expensive in preliminary cost. Wallpaper has proven its adaptability as a desirable wall covering for the Colonial home. There are excellent reproductive patterns on the market printed in attractive colors and designs. Nothing will ever take the place of wallpaper nor is anything likely to provide, within reasonable cost, such a versatile decorative treatment.

The color and tone of the walls and ceiling should be chosen with reference to the exposure and the size of the rooms, the warmer buffs and yellows being in favor for rooms with little sunlight and lighter shades for the small rather than for the spacious rooms. Painting woodwork in any of the light tones, such as white, cream or ivory, creates harmony with light painted or papered walls and is a common characteristic of the Colonial style.

In the finishing of the stairway, the risers and stringers usually match the finish of the window and door trim, whether stained or painted. The treads may match the flooring or be slightly darker, while the balusters are painted or stained. The handrail should always be stained dark to withstand the constant rubbing.

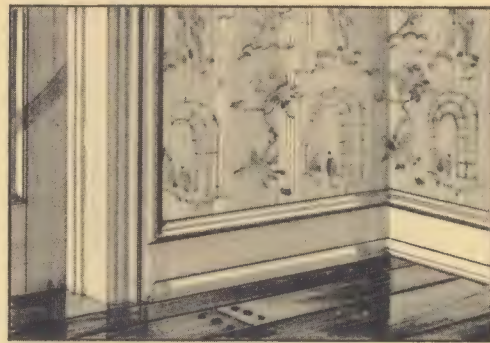
Wood floors may be painted—stained and varnished or shellacked or—stained and waxed. Shellac dries quickly and sandpapers easily and gives a textured finish that is between a varnished and a waxed one. Varnish however has more body than shellac and gives a much better wearing surface. Where there is considerable traffic, varnish will wear off requiring a refinishing of the entire floor. A waxed floor on the other hand can be easily patched up and with a little care be kept in good condition indefinitely.



The Colonial stairway must be correct in design, simple and refined in detail.



A pleasingly simple mantel with its background of knotty pine boarding and typical French doors.

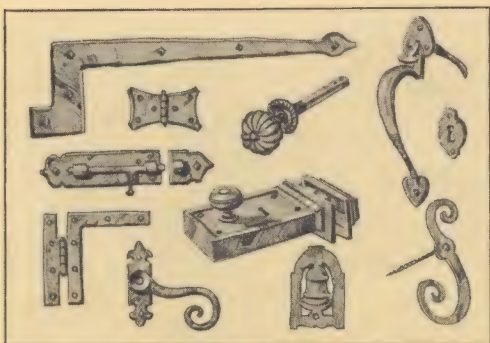


Balanced beauty of the Colonial interior depends on the correct use of trim, flooring and wall covering.

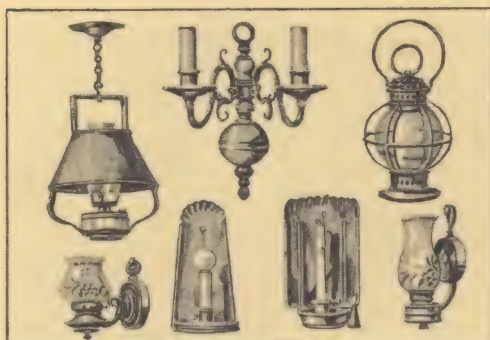


Books and a fireplace offer an ideal setting in the living room of a small home.

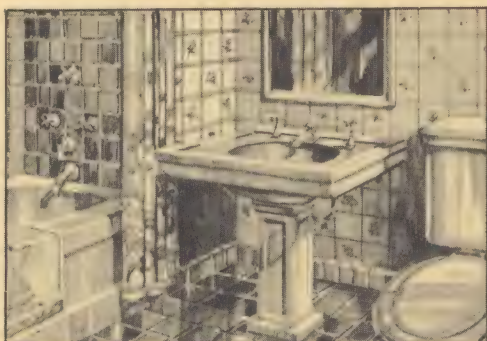




Finished hardware should be selected piece by piece for its style and quality of material.



Correct lighting fixtures are a necessary detail in the furnishing of your Colonial home.



Good plumbing fixtures eliminate upkeep costs and result in economy to the home owner.



Tile, linoleum, wallpaper and many other materials are practical for bathroom walls and floors.

## HARDWARE

Finish hardware plays an important and intimate part in the comfort and safety of the family. The home owner should give special consideration to this item because of the wide variety of materials and finishes on the market. The uninitiated might easily be deceived as to the quality and durability as well as the style and character of these accessories.

The Colonial style offers a wide variety of interesting hardware necessities but care and knowledge are very essential, if best results are to be obtained. The prospective builder should consult with his architect and together, visit one or more of the better hardware dealers and make their selection piece by piece. He can then determine just what amount to allow for the finished hardware for the new house.

## LIGHT FIXTURES

The Electric wiring of the home should not be exposed, but run in pipe or flexible cable to all outlets and switches. This eliminates the fire hazard as well as making it possible for additions or alterations without serious consequences.

In illuminating the home, the first essential is that the light be comfortable and not glaring or excessively brilliant to avoid eye strain and irritation. Also the fixtures should be artistic and appropriate in addition to being utilitarian in character. They should not only exist for the purpose of supplying light but also should be a part of your room decoration. Complicated and heavy fixtures serving no useful purpose should not be tolerated. Style in lighting fixtures is as essential as it is in any other item of the home. Be consistent in this respect and it will be reflected in the general result. The accompanying illustrations are a few suggestions of Hardware and Light Fixtures typical of the Colonial Style.

## PLUMBING

The plumbing of a building includes all piping necessary for distributing the water supply, both hot and cold, the fixtures for using the water and the drainage piping for removing waste water and sewage, together with fittings of various kinds.

Good plumbing and plumbing fixtures are essential and result in economy to the owner as they require but a small expenditure for upkeep. Brass piping is advisable for the water supply if the budget permits, as it is but slightly more expensive today than other piping. Stops and valves should be installed at all fixtures or at least in the basement to permit of changes in faucets, etc. City or town ordinances generally outline the exact methods and materials to be used in the sewage disposal system. Supervision of this work by your architect is very essential.

**Bathroom Walls and Floors:** Modern conveniences have necessarily brought to the fore new materials of new textures, new colors and new possibilities of building color into your house in permanent form. This is particularly apparent in the bathrooms of today.

Decorative glazed tiles, glass, linoleum or cork and many other materials too numerous to mention are now universally used for the floor as well as the walls of our bathrooms and kitchens. With the majority of these materials there is practically no up-keep expense, they are easily cleaned and present a colorful, crisp, sanitary appearance.



## GARAGES

The location and plan of the house and the position of the garage are the factors that usually determine the disposition of the remainder of the property for use and beauty.

Whereas the garage is more or less restricted in design by essentials in plan, it can nevertheless be made attractive as well as utilitarian by careful attention to the study of all its details. It can and should retain the character and style as expressed in the house design, in its mouldings, doors, cornices, gutters, windows, and roof, whether of frame, veneer, or solid masonry construction. It should be easy of access and so placed as not to interfere with your neighbor, either in attractiveness or outlook. In general, the nearer the street, the better and more satisfying is the result, as it cuts down the length of the drive, eliminates turning and avoids too great a distance for backing out.

The smaller the lot the graver is the problem of the garage as the minimum width practical for driveway, fence or shrubs from lot line to house should be ten feet. Small places need more careful planning than large ones for the best results. They are to be compared to the small house in which not an inch can be wasted. For this reason the necessary service parts of the plot should be made as small and compact as possible in order to give all the ground gained by this planning to recreation or "living room" use. Spaciousness is the effect one must try to produce on the small property.

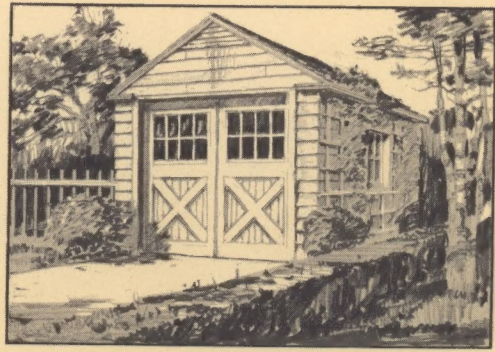
## LANDSCAPING

For home owners to realize the possibilities of greater use and enjoyment which can be obtained they should plan the house and grounds together. The rear portion of the lot ceases to be a place only for ashes, garbage and other debris. It has become the outdoor living room of the property—pleasant to look at from the house, a broad space for out-of-door life, a playground for children, the dominating area in the whole scheme or plan. To make the lawn or garden a real part of the house there must be a direct connection between them and the inside. People like to be outside in pleasant surroundings; they will go into their own private outdoors often, if it is easy for them to get there. The living room or its porch therefore should overlook and have an exit to these areas.

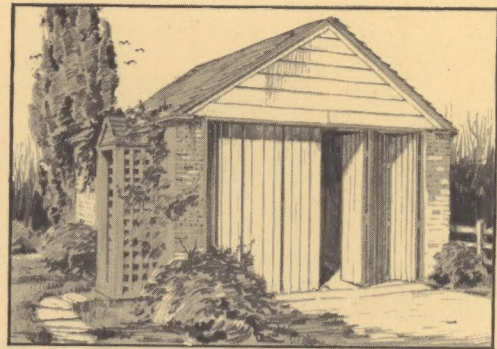
Seclusion of the yard is important, for unless privacy is secured in some degree, the use for which the lawn is intended is defeated. For this purpose the use of a wall, a lattice fence with vines growing over it, or even a hedge, are suggested as the most economical, both of space and money. Whatever general arrangement is planned, the major part of the new yard should be kept open and this space should adjoin the living rooms.

It is assumed that the average home owner likes room for vegetables as well as for flowers. The vegetable garden should be located where sunshine will prevail for at least five hours per day, where there is plenty of moisture and on soil free from rocks beneath the surface.

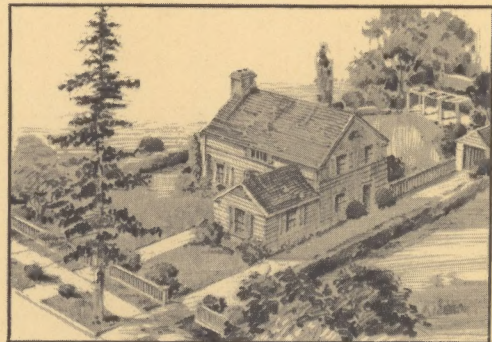
Lawn making, location and type of plants, selection of trees, location of vegetable gardens and many other elements of outdoor planting are elements worthy of professional advice. Consult your architect and local nurseryman on these matters.



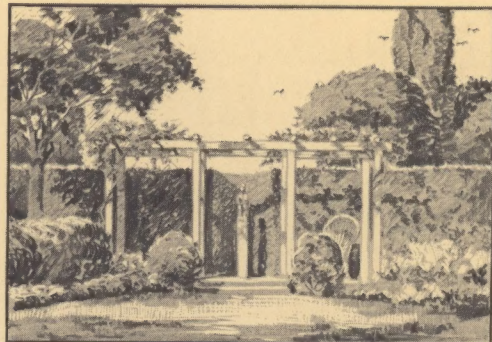
The location of the garage in reference to the house and garden must be carefully studied.



The design of the garage should be of the style and in character with the house.



A plan for the grounds should be made in conjunction with that of the house for best results.



The simplicity of a clear unbroken lawn with its borders of flowers makes for beauty.



THE ARCHITECTURAL GUILD  
OF SMALL HOME DESIGN, INC.

540 North Michigan Avenue  
CHICAGO, ILLINOIS







